Town of Mesilla, New Mexico

THE PLANNING, ZONING AND HISTORICAL APPROPRIATENESS COMMISSION (PZHAC) WILL HOLD A <u>REGULAR MEETING</u> ON TUESDAY, FEBRUARY 22, 2022, AT 2:30 P.M. IN THE BOARD ROOM OF THE MESILLA TOWN HALL, 2231 AVENIDA DE MESILLA. **FOR THE HEALTH & SAFETY OF ALL PUBLIC, MASKS ARE REQUIRED TO ENTER**

- 1. PLEDGE OF ALLEGIANCE
- 2. ROLL CALL AND DETERMINATION OF A QUORUM
- 3. CHANGES/APPROVAL OF THE AGENDA
- 4. PUBLIC INPUT The public is invited to address the Commission for up to 3 minutes.

 Space is limited and may require persons giving public input IN PERSON to rotate if capacity of the room is exceeded.
- 5. APPROVAL OF CONSENT AGENDA: (The Board will be asked to approve by one motion the following items of recurring or routine business. The Consent Agenda is marked with an asterisk *. These projects were approved in accordance with MTC 15.15.030 (B))
 - a) *PZHAC CASE #061345 ADMNISTRATIVE APPROVAL 2305 Calle de Colon submitted by Gerard Nevarez a request for small patchwork on back patio roof and fill in cracks on inside porch wall. See attached **Zoned: Historic Residential (HR)**
 - b) *PZHAC CASE #061346 ADMINISTRATIVE APPROVAL 2290 Calle de Parian submitted by Felix Armijo a request to retouch patio fence paint same color (white). See attached Zoned: Historical Commercial (HC)
 - c) *PZHAC CASE #061347 ADMINISTRATIVE APPROVAL 2043 Calle de Correo, submitted by Alison Tinsley & Chris Fields a request to repair & repaint exterior courtyard door to preserve wood same color blue as original. See attached Zoned: Historic Residential (HR)
 - d) *PZHAC CASE #061348 ADMINISTRATIVE APPROVAL 2043 Calle de Correo, submitted by Alison Tinsley & Chris Fields a request to paint patches of undone stucco and behind swamp cooler same color as stucco. See attached Zoned: Historic Residential
 - e) *PZHAC CASE #061349 ADMINISTRATIVE APPROVAL 2043 Calle de Correo, submitted by Alison Tinsley & Chris Fields a request to replace 2 swamp coolers with a minisplit system. Replacement condenser is significantly smaller than the current Master Cool. See attached Zoned: Historic Residential (HR)
- 6. NEW BUSINESS
 - a) <u>PZHAC CASE #061342</u> 2912 Snow Road, submitted by Susan Krueger a request to place temporary fencing along northeast to northwest of property fencing to consist of 4' posts placed at 10' intervals, webbing used for traffic control. See attached **Zoned: Rural Farm** (**RF**)
 - b) <u>PZHAC CASE #061343</u> 2350 Calle de Parian, submitted by Joni Gutierrez & Lowell Catlett a request to repaint current Zia art on barn door with a stylized American flag. See attached **Zoned: Historic Residential (HR)**
 - c) PZHAC CASE #061344 2060 Calle de Parian, submitted by Roberta Sylvis a request for a sign permit for Desert Ski Bling. See attached pictures Zoned: Historical Commercial (HC)

- d) <u>PZHAC CASE #061196</u> Snow Road, submitted by Susan Krueger a request to renew building permit to place T-Posts along property line. See attached **Zoned: Rural Farm** (RF)
- 7. <u>PZHAC CASE #061350</u> 804 Calle de El Paso (Hwy 28), submitted by Pataricia Molina a request for reroof. See attached **Zoned: Rural Farm (RF)**
- 8. COMMISSION/STAFF COMMENTS
- 9. ADJOURNMENT

NOTICE

If you need an accommodation for a disability to enable you to fully participate in the hearing or meeting, place contact us at 524.3262 at least 72 hours prior to the meeting. A copy of the agenda packet can be found online at www.mesillanm.gov. **Posted 02.18.2022** online and at the following locations: Town Clerk's Office at 2231 Avenida de Mesilla, Public Safety Building at 2670 Calle de Parian, Mesilla Community Center at 2251 Calle de Santiago, Shorty's at 2290 Avenida de Mesilla, Ristramnn Chile Co. at 2531 Avenida de Mesilla, and U.S. Post Office at 2253 Calle de Parian.

OFFICIAL USE ONLY:
Case # 06/945

PERMISSION TO CONDUCT WORK

OR
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID

FEB - 9 2022

	2231 Avenida de Mesilla, P.O	. Box 10, Mesilla,	NIM 88046 (575) 524-3262	CXL IUT
CASE NO	ZONE:	CODE:	APPLICATION APPLICATION	ON DATE:
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	er's Mailing Address	City	State	Zip Code
Property Own	Ilai3@aol-	- 4	and the same of th	
Property Own	er's E-mail Address			
Contractor's N	lame & Address (If none, Indicate S	elf)		· ·
	elephone Number	Contractor's Tax	ID Number Contra	ctor's License Number
Address of Pr	oposed Work: <u>2305 (</u>	alle de	Colon	
	Proposed Work: 5mall	inside	front pat	ack patio roof
\$	- / Cer	ne	Date	2-00/20
Estimated C	ost Signature of Appli	cant	Date	
	property owner:			
With the exc before issua	eption of administrative approvals, nce of a zoning permit. <mark>Plan sheet</mark>	all permit request s are to be no larg	s must undergo a review proc er than 11 x 17 inches or shall	ess from staff, PZHAC and/or BOT be submitted electronically.
		FOR OFFICIA	L USE ONLY	
PZHAC	☐ Administrative Approval			pproved Date:
	☐ Approved Date:			sapproved Date:
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	☐ Approved with condition	is		
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9. Dra 10. De 11. Pro Pu	inage plan.	of septic tank pe	rmit; proof of water service	(Well permit of statement from the
13 Otl	ner information as necessary or req	uired by the City Ci	ode of Community Developmen	,

Doña Ana County, NM Parcel Map Leticia Duarte Benavidez, County Assessor

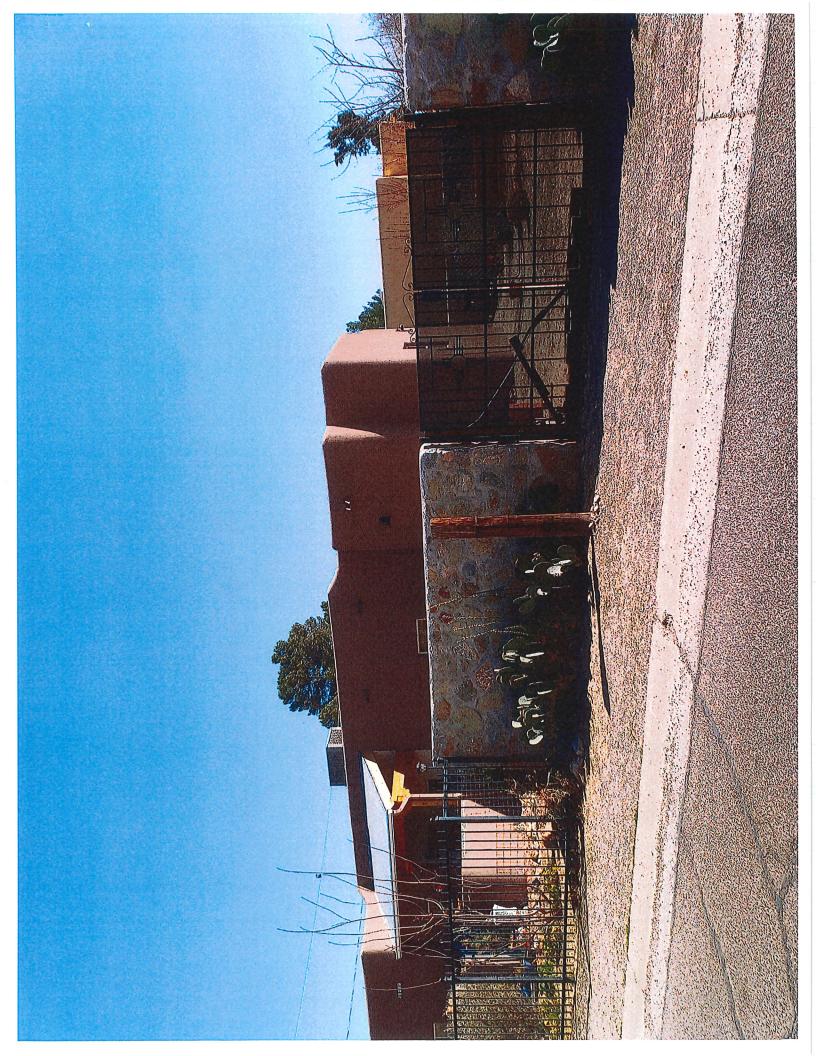




. Parcel ID	Map Code	Name	Address
R0400572	4006138208035	NEVAREZ GERARD R	PO BOX 1102







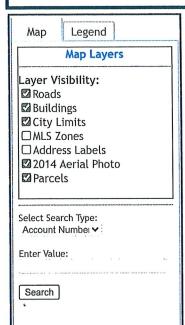
OFFICIAL USE ONLY: Case # 06/346 Fee \$ 6

PERMISSION TO CONDUCT WORK

OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID

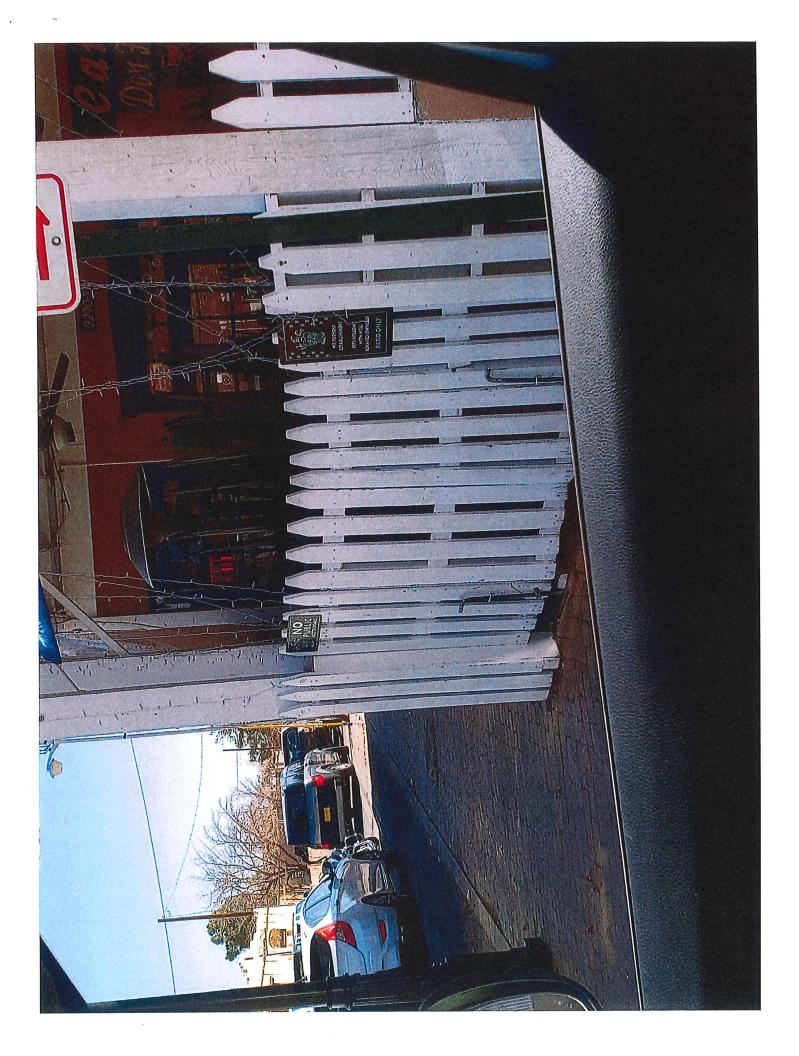
	2231 Avenida	de Mesilla, P.O. l	Box 10, Mesilla,	NM 88046 (575) 524	-3262 ext. 10 880 - 0 2022
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Property C	Owner's E-mail Addres	S			
Contractor	r's Name & Address (li	f none, indicate Sel	f)		
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	white pai	nt	1		
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PERMISS	ION ISSUED/DENIE	ED BY:			ISSUE DATE:
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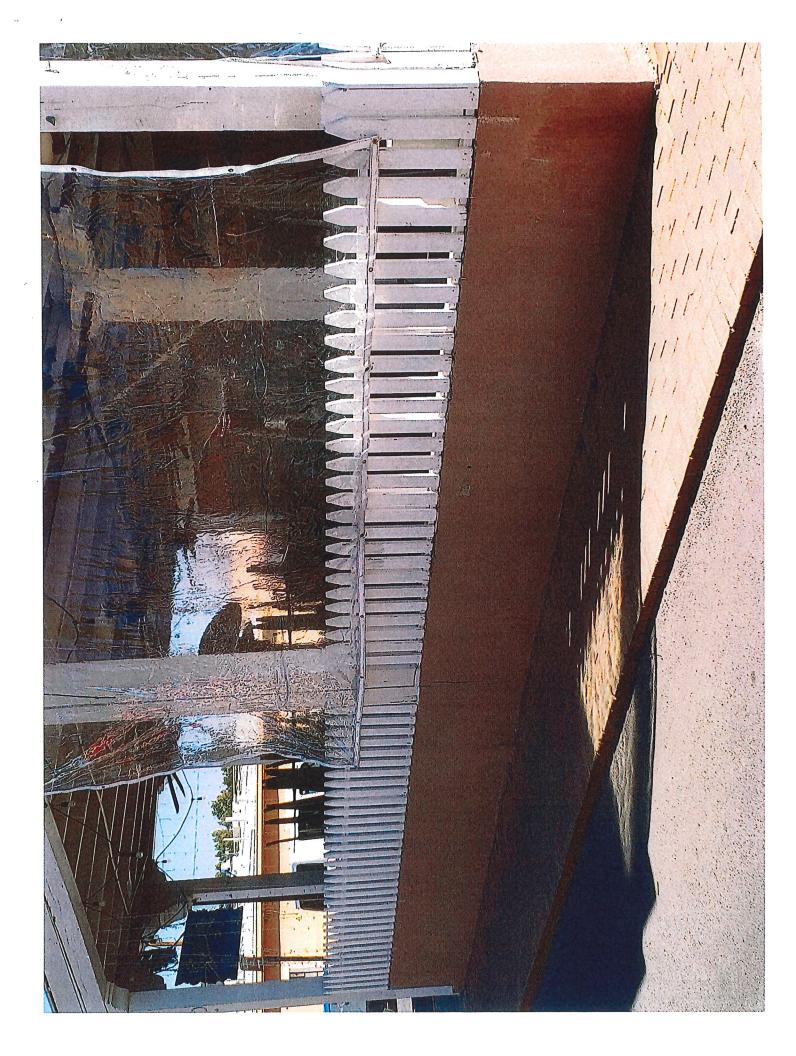
Doña Ana County, NM Parcel Map Leticia Duarte Benavidez, County Assessor

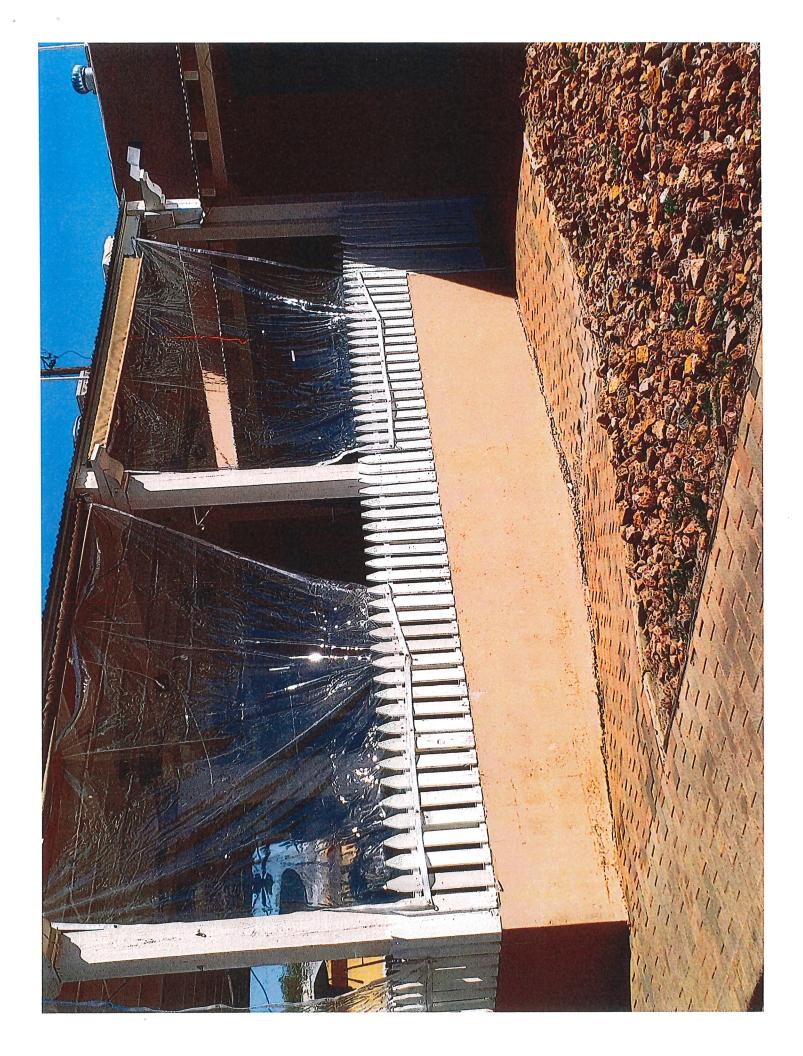




١	Parcel ID	Map Code	Name	Adı
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OFFICIAL USE ONLY: Case # 06 15 4

PERMISSION TO CONDUCT WORK

OR OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID

PE" 10 2022

2231 A	venida de Mesilla, I	P.O. Box 10, Mesilla,	NM 88046 (575) 52	24-3262 ext. 104
CASE NO	ZONE:	CODE:	APP	LICATION DATE:
Property Owner's Mailing	Olo 4 g Address Y SP 4 8 (Address)		Property Owner's T State	lo 40-3764 Telephone Number SSO46 Zip Code
Contractor's Telephone	Number	Contractor's Tax I	D Number	Contractor's License Number
Address of Proposed We	m contr	Cauc de	Correo	
Description of Proposed OOV Section 1	Stghature of Ap	Ve CUCO ALNOJ Oplicant ON JU	d Sam Lley udey	Date Date Date Date Date Date Date Date
before issuance of a zo	ning permit. Plan sh	eets are to be no larger	than 11 x 17 inches	iew process from staff, PZHAC and/or BC or shall be submitted electronically.
		FOR OFFICIAL		
	Administrative Approv		вот	☐ Approved Date:
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PZHAC APPROVAL RE	QUIRED:YES	NO BOT AP	PROVAL REQUIRE	D:YES _X NO
CID PERMIT/INSPECT	ION REQUIRED: _	_yes _X_no _	SEE CONDITION	NS
CONDITIONS:				
-				
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PERMISSION ISSUED	DENIED BY:	loral Ba	uaji	ISSUE DATE: 2/11/23
Verification sha existence prior Site Plan with of Foundation plants of Floor plants show the proof of legal and Drainage plants. Verification shall be existenced by the proof of legal and the proof of legal and Drainage plants. Details of architects and proof of legal and Drainage plants.	legal description to all show that the lot to February 1972. Ilmensions and details with details. Ving rooms, their uses of walls framing plan coess to the property.	show existing structur was <u>LEGALLY</u> subdives. and dimensions. r scheme (checklist incl	vided through the T	s, driveway(s), improvements & setbac own of Mesilla or that the lot has been ones) – diagrams and elevations. ervice (well permit or statement from
Public Utility process Proof of legal a	oviding water services ccess to the property.	3).		
Other information	on as necessary or re-	nuired by the City Code	e or Community Deve	lopment Department (See other side.)

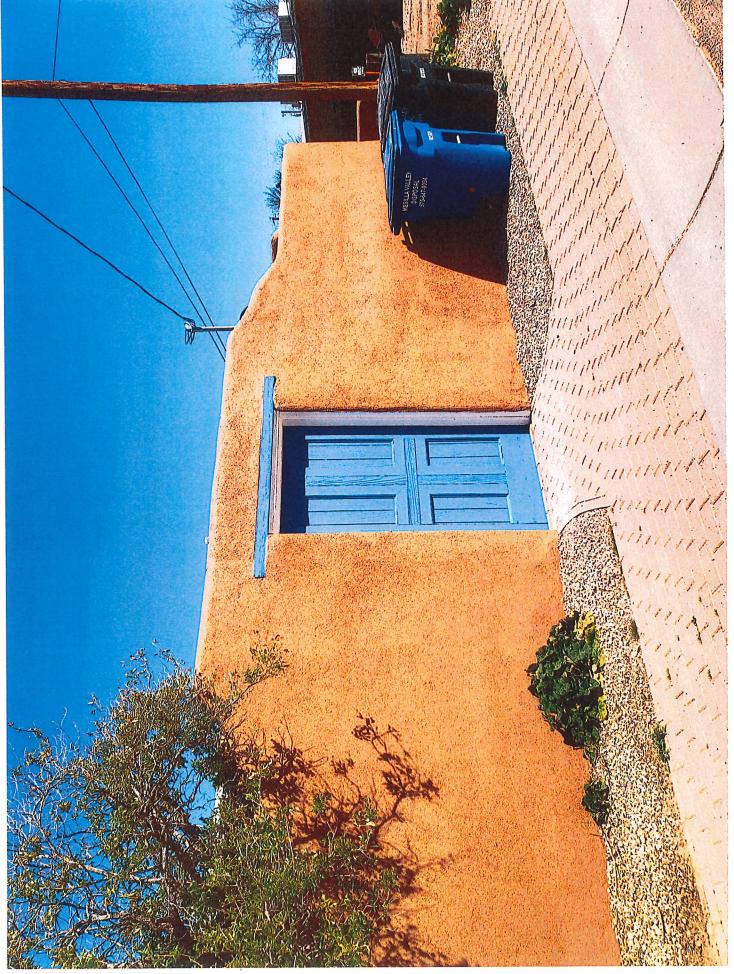
The following are requirements to be included with all building permit applications for new structures or additions to existing structures, as well as other construction or fixtures that will be permanent in nature and affect the appearance or use of the property. (This includes fences, well houses, storage units, metal sheds, photo-voltaic panels that can be seen from the ground, etc.)

BUILDING PERMIT REQUIREMENTS

A.	Completed	app	lication,	inc	luding:
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- 1. Applicant's name
- 2. Applicant/property owners contact information
- 3. Physical address of property
- 4. Description of work to be done, including dimensions of any construction or repairs
- 5. Value of work to be done
- 6. Property owner's signature on the application

В.	Include all information required in the checklist at the bottom of the application.
C.	Additional information required:



OFFICIAL USE ONLY: Case # 06/34 Fee \$ _____

PERMISSION TO CONDUCT WORK

OR OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID

2231 Av	venida de Mesilla. I	P.O. Box 10, Mesilla	, NM 88046 (57)	5) 524-3262 ext. 104	FEB - 8	202
CASE NO	ZONE:	CODE:		APPLICATION DATE	:	
Alison	Tinsley .	r Chris	Fields	575-6	40.3-4	<u>-</u> <u>-</u> <u>-</u>
Name of Property Owner	+	Mesilla	Property Owner	er's Telephone Number	95046)
Property Owner's Mailing		8/2 9m	au. Co	e Y	Zip Code	
Property Owner's E-mail	Address	AR				
Contractor's Name & Add	ress (If none, indicat	e Self)				
Contractor's Telephone N	umber	Contractor's Tax	ID Number	Contractor's Lice	nse Number	
Address of Proposed Wor	rk: <u>2043</u>	Calle	Correct)		
Description of Proposed \	Nork: Day	Afing pa	fches d SW	comp ca	done o	no
	Ani		· · · · · · · · · · · · · · · · · · ·	0 (00)	22	J.C. (
\$ Estimated Cost	Signature of Ar	oplicant)	Willey	Date		V
Signature of property ow	ner:	on Chin	oley			
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		FOR OFFICIA	L USE ONLY			
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CONDITIONS:						
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PERMISSION ISSUED/	DENIED BY:	Mora L. 1	Jana	ISSUE DATE	. 2/11/2	2
PERMISSION ISSUEDI	DENIED BY:	1 W seeks !	•	IOOOL DATE	-/-/-	`
THIS APPLICATION SHAL						
1 Plot plan with le	egal description to	show existing structu	ures, adjoining st	reets, driveway(s), imp	provements & sett	acks.
Verification <u>shal</u> existence prior to		was <u>LEGALLY</u> SUDC	iiviaea uirougri tr	ne Town of Mesilla or	נוומג נווט וטג וומט של	SCII III
	mensions and details					
3. Foundation plan	with details.					
4 Floor plan showii 5. Cross section of	ng rooms, their uses	and dimensions.				
6. Roof and floor fra						
8 Proof of legal ac	cess to the property.					
9. Drainage plan.	-11-1	androme /-be-lille/!	aludad fan lilists'	ol zonoo) dicamama -	nd alayations	
1 Proof of sewer	service or a copy	of septic tank pern		al zones) – diagrams a er service (well permi		m the
	viding water services).				
	cess to the property.	ruired by the City Con	le or Community F	Development Departme	nt (See other side)	
Other information	i as necessary or rec	datted by the City Coc	ie or community r	severobineur nebarritier	ir (acc oniel side.)	

The following are requirements to be included with all building permit applications for new structures or additions to existing structures, as well as other construction or fixtures that will be permanent in nature affect the appearance or use of the property. (This includes fences, well houses, storage units, metal sheds, photo-voltaic panels that can be seen from the ground, etc.)

BUILDING PERMIT REQUIREMENTS

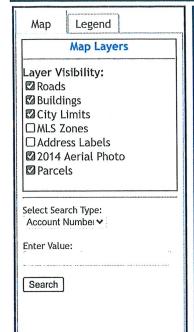
- A. Completed application, including:
 - 1. Applicant's name

C,

- 2. Applicant/property owners contact information
- 3. Physical address of property
- 4. Description of work to be done, including dimensions of any construction or repairs
- 5. Value of work to be done
- 6. Property owner's signature on the application
- B. Include all information required in the checklist at the bottom of the application.

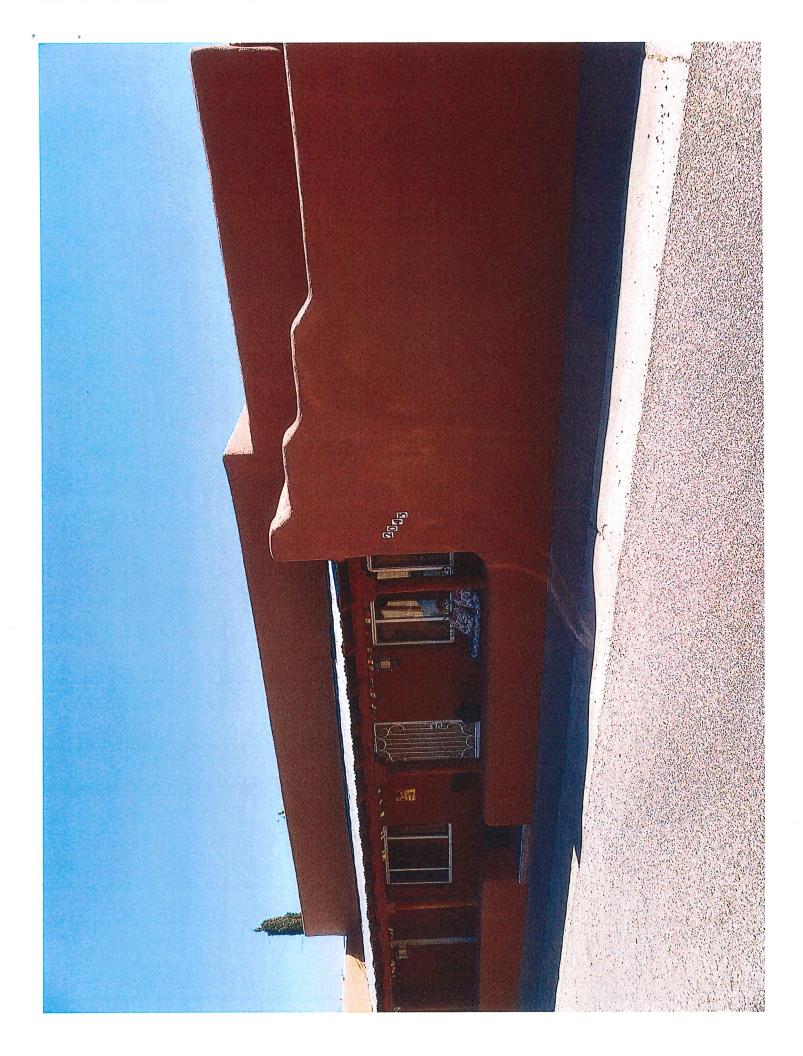
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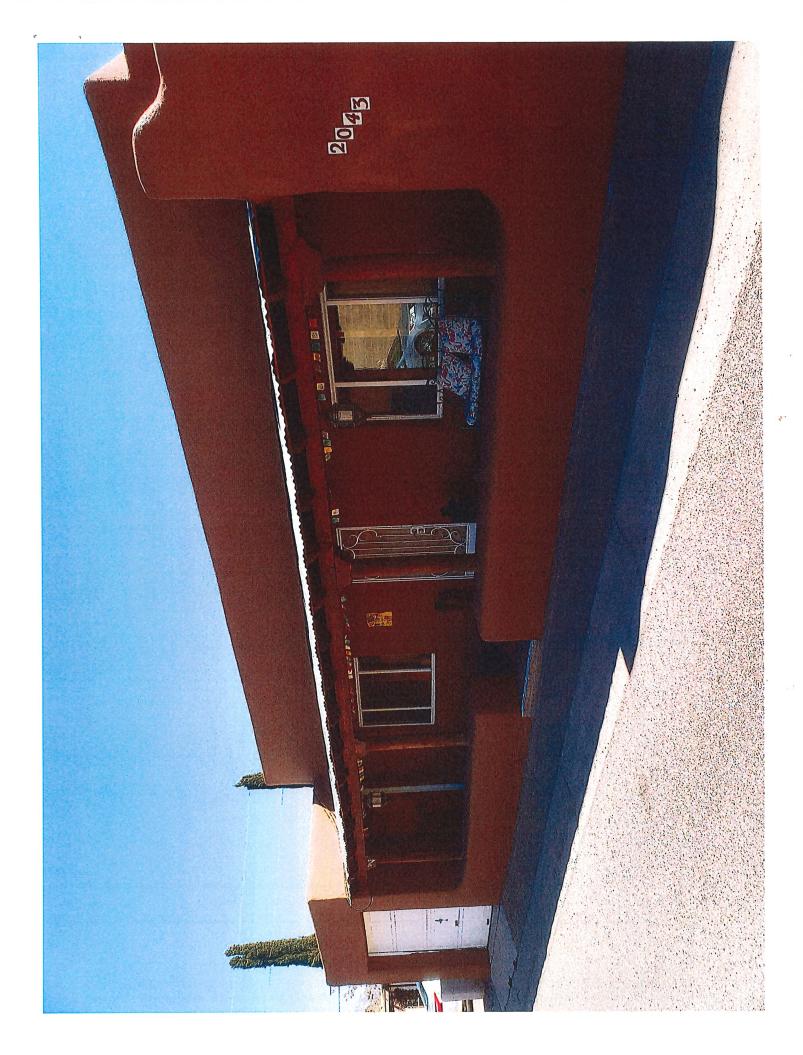
Doña Ana County, NM Parcel Map Leticia Duarte Benavidez, County Assessor

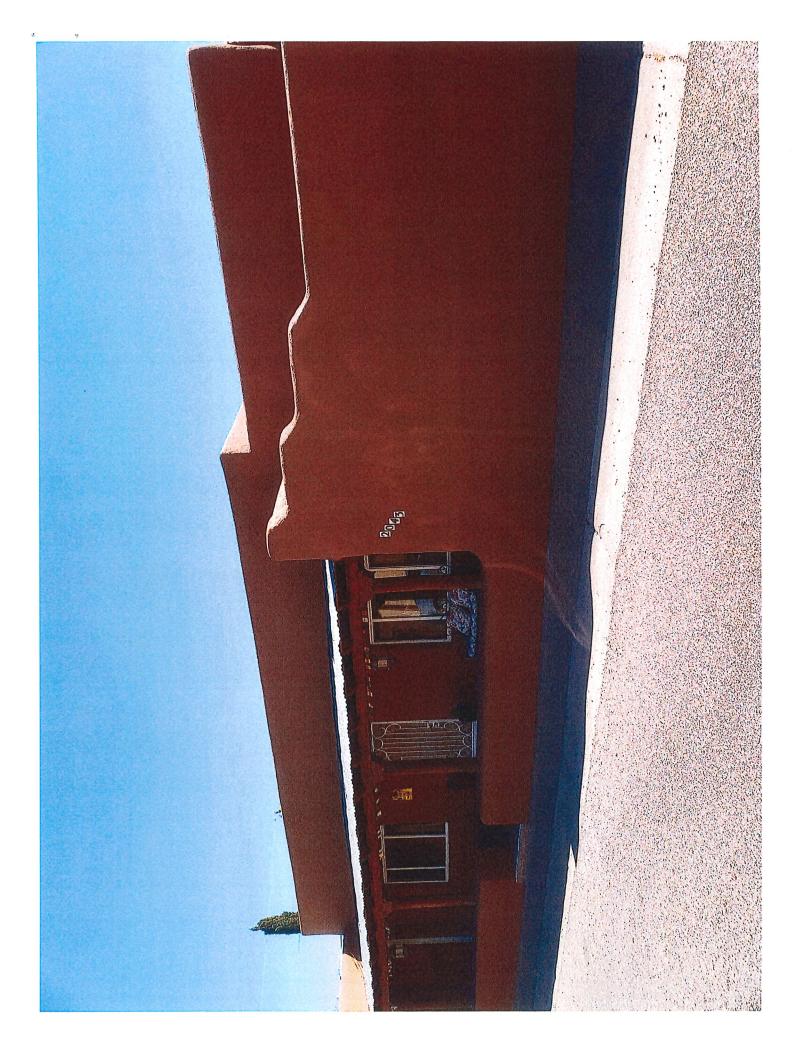




Parcel ID	Map Code	Name	Address
R0400356	4006137272479	BRAZITO LLC	PO BOX 664







PERMISSION TO CONDUCT WORK

OR OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID

Case # 0/6349 Fee \$ 950

FEB 15 2044

	2231 Avenida de Mesill	a, P.O. Box 10, Mesilla	, NM 88046 (575) 52	24-3262 ext. 104	
CASE NO	ZONE:	CODE:	APF	PLICATION DATE:	
AlisonTir	poley + Chris	Fields	575-6A	0-3764	
Name of Property	Owner!	Mesilla	Property Owner's T	Telephone Number 880A6	
Property Owner's		City	State	Zip Code	
Property Owner's	E-mail Address E-mail Address Address (If none, indi	3e1 F.	am		-
Contractor's Tele	phone Number	Contractor's Tax	ID Number	Contractor's License Number	-
	osed Work: 2043		rreo		
The replac	enant conden el (37"Hx 49"L	spol (36"Hx 42 x 42" W) and ion Sluslo	Will befor	inth a mini-split Su Significantly Smaller Photos 2/15/22 Date	Chauth
Signature of pro	perty owner	J Christa	1		
With the exception before issuance	on of administrative approof a zoning permit. Plan	ovals, all permit requests sheets are to be no large	must undergo a rev r than 11 x 17 inches	iew process from staff, PZHAC and/or B or shall be submitted electronically.	от
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PZHAC	Administrative App	roval	BOT	☐ Approved Date:	
	☐ Approved Date:			☐ Disapproved Date:	_
	☐ Disapproved Date			□ Approved with Conditions	
	☐ Approved with con	ditions			
PZHAC APPRO	VAL REQUIRED: YES		PPROVAL REQUIRE	D:YESNO	
	SPECTION REQUIRED:				
CONDITIONS:	administr	ative appro	val ~ need	16 go to CID for	
a	mechanical	Reimit			
-			•		
PERMISSION IS	SSUED/DENIED BY: _	nora L. B	aug	ISSUE DATE: 2/16/20	<u>-</u>
1 Plot pla Verificat	ON SHALL INCLUDE ALL n with legal description ion shall show that the e prior to February 1972.	to show existing structu	ires, adjoining street ivided through the T	s, driveway(s), improvements & setbac own of Mesilla or that the lot has beer	cks. 1 in
2. Site Plan 3. Foundat 4. Floor pla	n with dimensions and det ion plan with details. an showing rooms, their ús				
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-	d floor framing plan legal access to the prope	tv.			
9. Drainage	e plan.				
10 Details of the proof of	of architectural style and c	ppy of septic tank pern		ones) – diagrams and elevations. ervice (well permit or statement from	the
12 . Proof of	logal access to the proper	tv			

13._____ Other information as necessary or required by the City Code or Community Development Department (See other side.)

BOARD ACTION FORM

AGENDA DATE

PZHAC: February 22, 2022

BOT:

ITEM: <u>PZHAC CASE #061342</u> – Susan Krueger – 2912 Snow Road – Temporary fencing – Rural Farm (RF)

BACKGROUND AND ANALYSIS:

The applicant is requesting to place temporary fencing along northeast to northwest of her property – fencing to consist of 4' posts placed at 10' intervals, material to be used for fencing will be webbing used for traffic control. (RF)

IMPACT:

- The PZHAC has jurisdiction to recommend approval of the applicant's request for approval of this request to the BOT.
- The applicant has the authority to make an application request to the PZHAC and BOT.
- Due process was provided to the applicant.

Specific findings of fact:

• The proposed work is on applicant's property and not in Town of Mesilla right-of-way.

ALTERNATIVES:

The Planning, Zoning and Historical Appropriateness Commission (PZHAC) may:

- 1. Recommend approval of this case with findings stated above.
- 2. Recommend approval of this case with findings stated above and conditions.
- 3. Deny the application.

DEPARTMENT INFORMATION:

MTC 18.10 Rural Farm Zone

18.60.340 Wall, fence, or hedge.

A. Height.

- 2. A four-foot maximum height above ground surface level shall be permitted on any part of the required setbacks of front yards or side yards abutting a street in R-1, RF and RA zones; provided, such wall, **fence** or hedge is in accord with subsection (D) of this section. A six-foot maximum height above ground surface level shall be permitted on any part of the required front yard or side yard abutting a street with openwork **fencing** in the RF and RA zones. "Open work" **fencing** is defined as **fencing** with 40 percent of the area transparent within each six-foot width of **fence**.
- B. Walls, **fences** or hedges on any part of the lot that is to the rear of the required front yard must be in accord with subsection (D) of this section and constructed to Uniform Building Code Standards.c.Any wall retaining four or more
- D. There shall be no fence, wall, hedge, or obstruction more than three feet above street curb level or ground level at edge of street in the clear sight triangle, measured 30 feet in both directions on the property line from a corner.

SUPPORTING INFORMATION:

- Application
- Photos
- Diagrams

OFFICIAL USE ONLY:
Case # 06/842
Fee \$ _____

PERMISSION TO CONDUCT WORK

OR

OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID

FEB - 1 2022

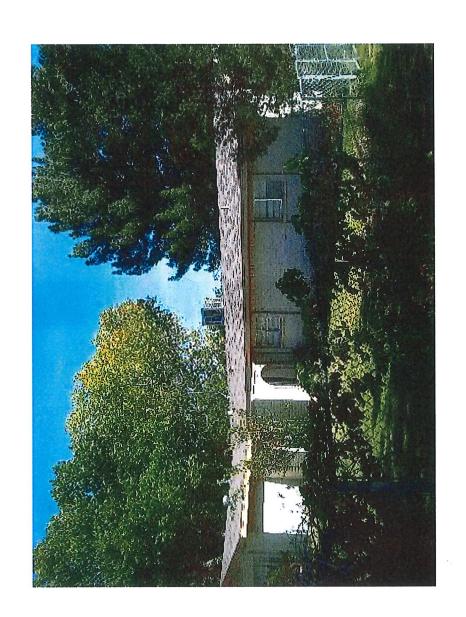
2231	Avenida de Mesilla, P.	O. Box 10, Mesilla, NI	M 88046 (575) 524	-3262 ext. 104	
CASE NO	ZONE:	CODE:	APPL	ICATION DATE:	(/3//20
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Name of Property Own	IKUE GE	-/-	Property Owner's Te	elephone Number	
PO. Pos	1143 V	MESI(14	NM		85646
Property Owner's Maili	er < 1143 V ng Address &575 W Wa	City	State		Zip Code
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Property Owner's E-ma	/ Blence	re Deputy	Diaz ac	ser 1 /cepso	Ciperin
Contractor's Name &	/ অ্বdress (If none, indicate	Self)			
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Contractor's Telephone		Contractor's Tax ID I	Number	Contractor's Licens	e Number
Address of Proposed \	Vork: 2912	SNOW R			
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Signature of property	owner: <u>A. Gu</u>	can		_ (0 00
With the exception of	administrative approvals	s. all permit requests m	ust undergo a revie	w process from sta	ff, PZHAC and/or BO
before issuance of a z	oning permit. Plan shee	ts are to be no larger th	an 11 x 17 inches or	r shall be submitted	electronically.
		FOR OFFICIAL U	SE ONLY		
	Administrative Approva		вот		:
	Approved Date:				ate:
	Disapproved Date:			☐ Approved with	Conditions
	Approved with condition				
PZHAC APPROVAL F	REQUIRED: YES	_ NO BOT APP	ROVAL REQUIRED:	:YESNO)
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		,			
PERMISSION ISSUE	D/DENIED BY:			ISSUE DATE:	
THE ADDITION OF	HALL INCLUDE ALL OF	THE EOLI OWING:			
1 Plot plan wit	h legal description to sl	how existing structures	, adjoining streets,	, driveway(s), impr	ovements & setbacks
Verification s	hall show that the lot w	vas <u>LEGALLY</u> subdivid	ed through the To	wn of Mesilla or th	at the lot has been i
	or to February 1972. dimensions and details.				
3. Foundation p	an with details.				
	owing rooms, their uses a	and dimensions.			
5 Cross section	of walls				
6. Roof and floo	r traming plan				
8 Proof of legal 9 Drainage plan	access to the property.				
 Details of arc 	hitectural style and color	scheme (checklist includ	ded for Historical zor	nes) – diagrams an	d elevations.
1 Proof of sev	ver service or a copy	of septic tank permit;	proof of water se	ervice (well permit	or statement from th
	providing water services) access to the property.				
 Proof of legal Other information 	access to the property.	uired by the City Code o	r Community Devel	opment Department	(See other side.)
, Outer interme	mon as necessary or req				-

The following are requirements to be included with all building permit applications for new structures or additions to existing structures, as well as other construction or fixtures that will be permanent in nature and affect the appearance or use of the property. (This includes fences, well houses, storage units, metal sheds, photo-voltaic panels that can be seen from the ground, etc.)

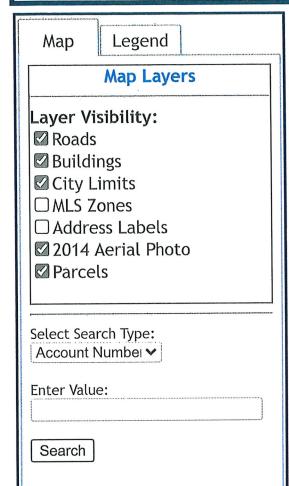
BUILDING PERMIT REQUIREMENTS

- A. Completed application, including:
 - 1. Applicant's name
 - 2. Applicant/property owners contact information
 - 3. Physical address of property
 - 4. Description of work to be done, including dimensions of any construction or repairs
 - 5. Value of work to be done
 - 6. Property owner's signature on the application

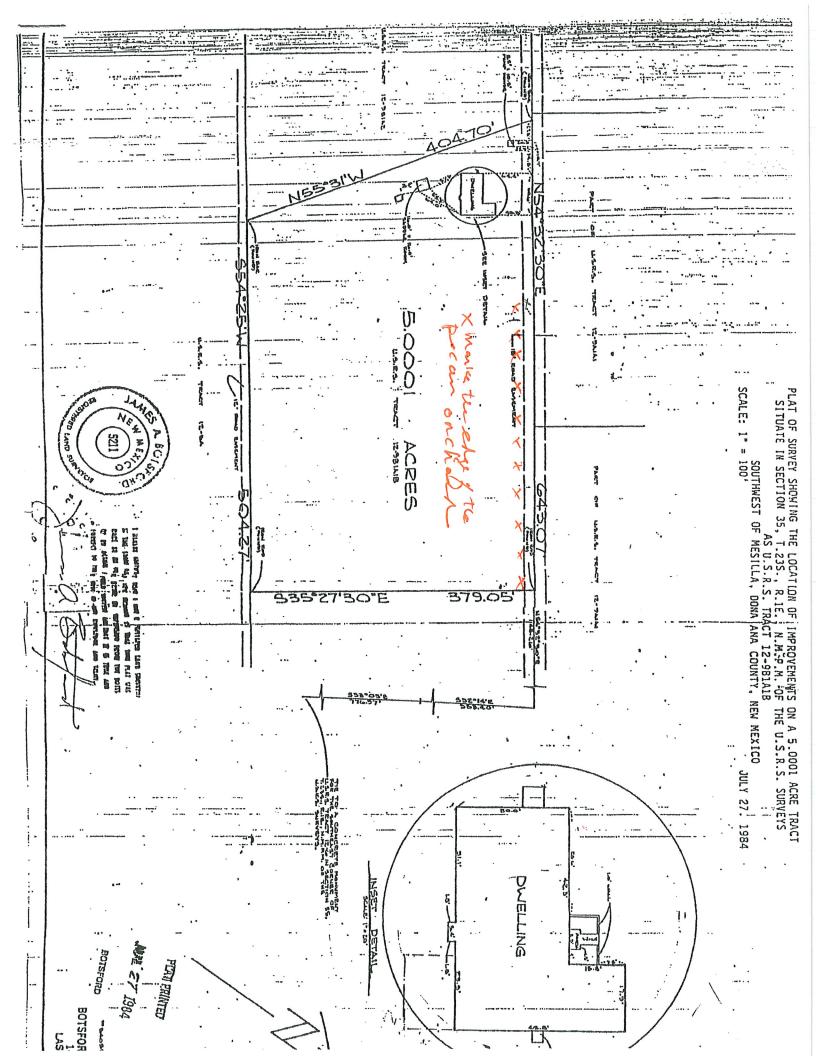
В.	Include all information required in the checklist at the bottom of the application.					
C.	Additional information required:					

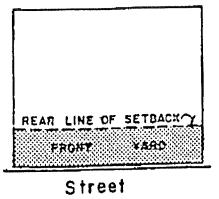


Doña Ana County, NM Parcel Map Leticia Duarte Benavidez, County Assessor





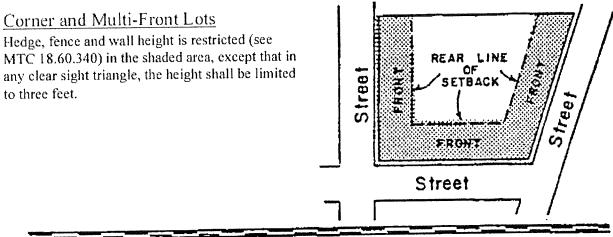




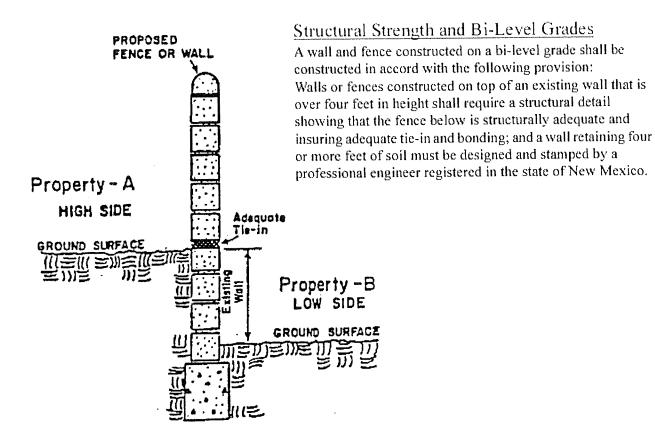
Interior Lot

Hedge, fence and wall height is restricted (see MTC 18.60.340) in the shaded area, except that in any clear sight triangle, the height shall be limited to three feet.

MTC 18.60.340) in the shaded area, except that in any clear sight triangle, the height shall be limited to three feet.

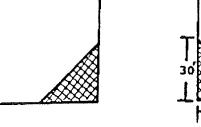


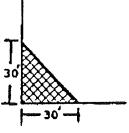
Note: Ground surface level is defined as the level of ground abutting the fence or wall.



Appendix B – Clear Sight Triangle

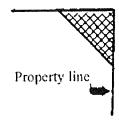
Clear sight triangle applies to both corner lots and off-street multiple parking area. For a definition, see "Clear sight triangle," MTC 18.10.020.

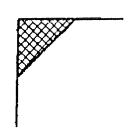




Clear Sight Triangle

STREET





Case Number

2022-000034



Town of Mesilla MESILLA MARSHAL'S DEPARTMENT 2670 CALLE DE PARIAN MESILLA, NM , 88046

Case Report

Reported by: DE

DEPUTY T DIAZ #333

Incident Types Label

INFORMATION REPORT

Incident Disposition

Offender

Report Recorder	Manager/Supervisor On Duty	Manager/Supervisor Notified
DEPUTY T DIAZ #333		
Incident Occurred Date	Incident Occurred End Date	Incident Discovered / Called In
01/23/2022 at 1300	01/23/2022 at 1300	01/23/2022 at 1300
Location	Specific Location	
TOWN OF MESILLA	2908 SNOW RD	
Secondary Location	Related Event	

22-000266

Report Synopsis/Overview

Driving on Orchard

Driving on Orchard					
	Contact # 1 (RE	PORTING PERSON			
Full Name					
SUSAN KRUEGER					
Drivers License	Drivers Lice	enseState En	ail Address		
02884290	NM				
Age Date of Birth	Gender	Ra	Ce .		
	FEMALE				
		Addresse	es		
Street Number Street Direction	Street Name			Street Type	Apt./Suite
2908	SNOW			ROAD	
City	State	Zip	Country		Address Type
MESILLA	NM	88046			
Phones					
(N/A) 575-640-4266	Charles and the Second Country				

Narrative text

On January 23, 2022, at approximately 1300 I Deputy Diaz was dispatched to contact Susan Krueger via telephone for a vandalism. I contacted Ms. Krueger and she advised of damage on the west side of the driveway at 2908 Snow Rd. I advised her I could meet her at the residence.

Ms. Krueger stated someone had driven a vehicle onto her pecan orchard. It appears as though someone had driven on the orchard a short distance to turn around. She believes it to be the company dropping off big rocks for what appears to be a rock wall. Mr. Krueger wanted the incident documented incase further incidents occur, and her orchard is damaged. Nothing further to report at this time.

	Prepared By: UTY T DIAZ #333(m333)		Submitted Date 01/23/2022 1549
Signature		Reviewed By/Date	9

End of report.							
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Prepared By:	Submitted Date
DEPUTY T DIAZ #333(m333)	01/23/2022 1549
Signature Reviewed B	ly/Date

BOARD ACTION FORM

AGENDA DATE

PZHAC: February 9, 2022

BOT:

ITEM: <u>PZHAC CASE #061343</u> – Joni Gutierrez & Lowell Catlett, 2350 Calle de Parian, permit to repaint art work on barn door.

BACKGROUND AND ANALYSIS: This case was reviewed by the Architectural Styles Committee (ASC) on February 15, 2022.

The applicant is requesting to repaint current Zia art on barn door with a stylized American flag similar to the previous American flags painted before.

IMPACT:

- The PZHAC has jurisdiction to recommend approval of the applicant's request for approval of this request to the BOT.
- The applicant has the authority to make an application request to the PZHAC and BOT.
- Due process was provided to the applicant.

Specific findings of fact:

• The proposed work is on applicant's property and not in Town of Mesilla right-of-way.

ALTERNATIVES:

The Planning, Zoning and Historical Appropriateness Commission (PZHAC) may:

- 1. Recommend approval of this case with findings stated above.
- 2. Recommend approval of this case with findings stated above and conditions.
- 3. Deny the application.

DEPARTMENT RECOMMENDATIONS:

SUPPORTING INFORMATION:

- Application
- Photos

PERMISSION TO CONDUCT WORK

OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID

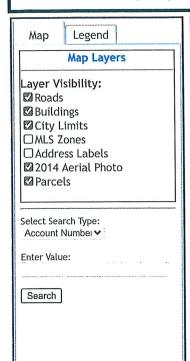
OFFICIAL USE ONLY:

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104 APPLICATION DATE: CASE NO. ZONE: CODE: Property Owner's Telephone Number Name of Property Owner P.O. BOX 842 NM State Property Owner's Mailing Address LCATLETT 1948 OGMA, L.COM Property Owner's E-mail Address DIVEN ARTIST Contractor's Name & Address (If none, indicate Self) 575-642-7445 Contractor's Telephone Number Contractor's Tax ID Number Contractor's License Number Address of Proposed Work: 2350 CAILE de PARIAN Description of Proposed Work: REDAINT CUPTENT ASTYLIZED ERICAN PLAGS HE HAS Signature of Applicant **Estimated Cost** Signature of property owner: With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and/or BOT before issuance of a zoning permit. Plan sheets are to be no larger than 11 x 17 inches or shall be submitted electronically. FOR OFFICIAL USE ONLY □ Administrative Approval BOT ☐ Approved Date: **PZHAC** ☐ Approved Date: _ □ Disapproved Date: ☐ Approved with Conditions ☐ Disapproved Date: ___ □ Approved with conditions PZHAC APPROVAL REQUIRED: ___ YES ___ NO BOT APPROVAL REQUIRED: ___ YES ___ NO CID PERMIT/INSPECTION REQUIRED: ___YES ____NO ____SEE CONDITIONS CONDITIONS; __ ISSUE DATE: _____ PERMISSION ISSUED/DENIED BY: _____ THIS APPLICATION SHALL INCLUDE ALL OF THE FOLLOWING: Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was LEGALLY subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972. Site Plan with dimensions and details. Foundation plan with details. Floor plan showing rooms, their uses and dimensions. Cross section of walls Roof and floor framing plan Proof of legal access to the property. Drainage plan. Details of architectural style and color scheme (checklist included for Historical zones) - diagrams and elevations. Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).

Other information as necessary or required by the City Code or Community Development Department (See other side.)

Proof of legal access to the property.

Can't get printer to print in color Blue Ped pulite





Parcel ID Map Code		Name	Address	
R0401196	4006137168527	CATLETT LOWELL B TRUSTEE	PO BOX 842	



AGENDA DATE

PZHAC: February 22, 2022

BOT:

ITEM: PZHAC CASE #061344 - Roberta Sylvis, 2060 Calle de Parian, sign permit for 2 signs.

BACKGROUND AND ANALYSIS: This case was reviewed by the Architectural Styles Committee (ASC) on February 15, 2022.

The applicant is requesting to place 2 signs for her business Desert Ski Bling.

IMPACT:

Staff recommends the Planning, Zoning and Historical Appropriateness Commission (PZHAC) approve the application subject to the following findings:

• The PZHAC has jurisdiction to recommend approval of the applicant's request for approval of this request to the BOT.

The applicant has the authority to make an application request to the PZHAC and BOT.

• Due process was provided to the applicant.

Specific findings of fact:

The proposed work meets the requirements of MTC 18.65 Historic Signs.

• The proposed work meets the requirements of MTC 18.40 Historic Commercial.

• The proposed work is on applicant's property and not in Town of Mesilla right-of-way.

ALTERNATIVES:

The Planning, Zoning and Historical Appropriateness Commission (PZHAC) may:

1. Recommend approval of this case with findings stated above.

2. Recommend approval of this case with findings stated above and conditions.

3. Deny the application.

DEPARTMENT RECOMMENDATIONS:

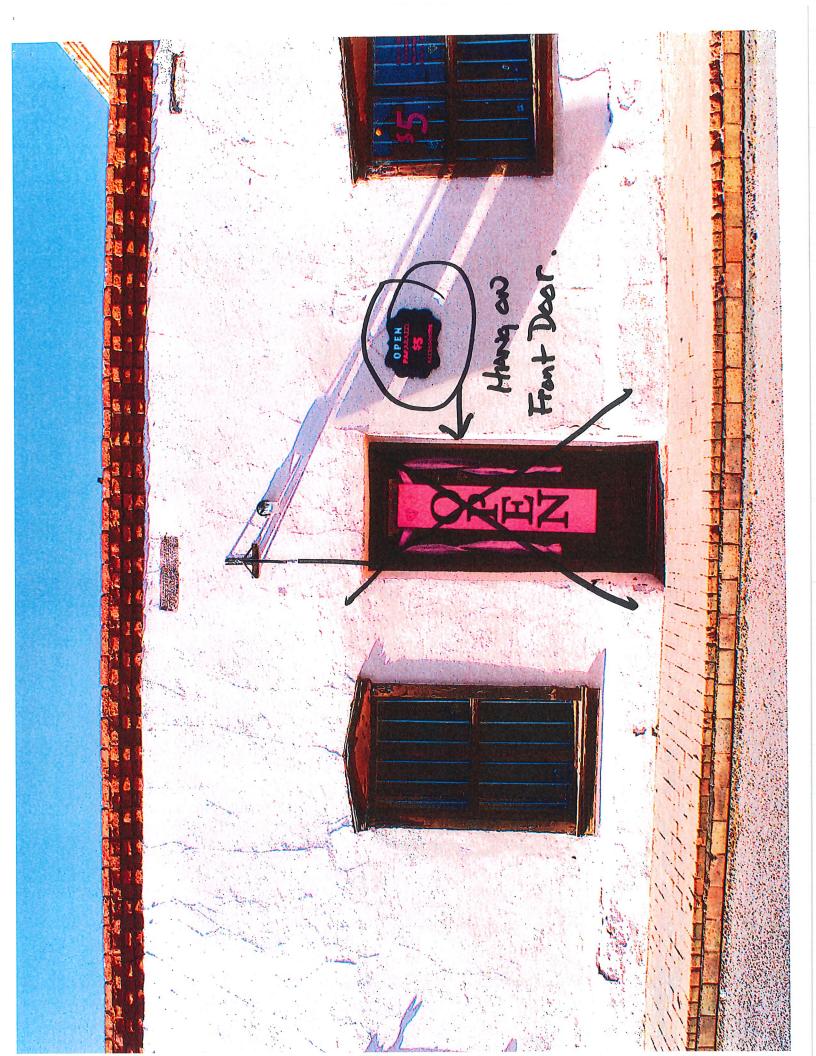
Staff recommends the PZHAC approve case #061344.

- Application
- Photos



OFFICIAL USE ONLY:
Case # 06/344
Fee \$ 10

CASE NO		ZONE:		APPLICA	TION DATE:		
Desert Business Name	SKi Blir	19			75 317	2 4867 Number	
20100	CALLE Del	Parion	haser	oces	NM	88	
Business Addres		City		State	1010	Zip Code	
Applicant Name H Ko Mailing Address Description of sign	ex Deer CT	LAS C Dity IN CIUD		Applica NM State	ant Telephone/ Sip	Z 4867 Cell Number 18007 Code Banner	-
Please incl	ude dimensions, lette	ering, shape, m	aterial, textu	re, colors, and/	or finish to be	used on the diagra	ım below.
	Feet	Pink Bi	lack 1				
		FOR	OFFICAL	USE ONL	Y		
PZHAC CONDITIONS:	□ Administrative □ Approved Date □ Disapproved D □ Approved with	ate: conditions		ВОТ	☐ Disappro	d Date: oved Date: d with Conditions	
P	FRMIT ISSUED BY:			ISSUE DA	TF:		





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BLACK BRAND WITH BE

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14 ISIN

This GAR WILL HANG
ABOVE DOOR TO GOM
Ground UP.

Black Board White Lettering

Desert SKI BLING





Parcel ID	Map Code	Name	Address	Subdivision
R0400335	4006137252447	APPALOOSA LIMITED LLC	5011 WILD HORSE ROAD	







DESERT SKI BLING

& C

PAPARA 221 ACCESSORIES

1# 18 in

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> Black Board White Letterling

Desert SKI BLING 2060 CALLE DE PArian

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> This ONE WILL BE Secured on Wall between Door AND LONG WINDOW

BLACK BOARD W/
White lettering
4 Pink will be
\$5

AGENDA DATE

PZHAC: February 22, 2022

BOT:

ITEM: PZHAC CASE #061196 - Susan Krueger - Snow Road - T-post fencing - Rural Farm (RF)

BACKGROUND AND ANALYSIS:

The applicant is requesting to renew her building application (approved by PZHAC 4/19/2021) to place T-posts along property line. (RF)

IMPACT:

• The PZHAC has jurisdiction to recommend approval of the applicant's request for approval of this request to the BOT.

The applicant has the authority to make an application request to the PZHAC and BOT.

• Due process was provided to the applicant.

Specific findings of fact:

• The proposed work is on applicant's property and not in Town of Mesilla right-of-way.

ALTERNATIVES:

The Planning, Zoning and Historical Appropriateness Commission (PZHAC) may:

1. Recommend approval of this case with findings stated above.

2. Recommend approval of this case with findings stated above and conditions.

3. Deny the application.

DEPARTMENT INFORMATION:

MTC 18.10 Rural Farm Zone

18.60.340 Wall, fence, or hedge.

A. Height.

- 2. A four-foot maximum height above ground surface level shall be permitted on any part of the required setbacks of front yards or side yards abutting a street in R-1, RF and RA zones; provided, such wall, **fence** or hedge is in accord with subsection (D) of this section. A six-foot maximum height above ground surface level shall be permitted on any part of the required front yard or side yard abutting a street with openwork **fencing** in the RF and RA zones. "Open work" **fencing** is defined as **fencing** with 40 percent of the area transparent within each six-foot width of **fence**.
- B. Walls, **fences** or hedges on any part of the lot that is to the rear of the required front yard must be in accord with subsection (D) of this section and constructed to Uniform Building Code Standards.
- D. There shall be no fence, wall, hedge, or obstruction more than three feet above street curb level or ground level at edge of street in the clear sight triangle, measured 30 feet in both directions on the property line from a corner.

- Application
- Photos
- Diagrams

AGENDA DATE

PZHAC: February 22, 2022 BOT:

ITEM: PZHAC CASE #061206 - Susan Krueger - Snow Road - T-post fencing - Rural Farm (RF)

BACKGROUND AND ANALYSIS:

The applicant is requesting to renew her building application (approved by PZHAC 4/19/2021) to place T-posts along property line. (RF)

IMPACT:

• The PZHAC has jurisdiction to recommend approval of the applicant's request for approval of this request to the BOT.

The applicant has the authority to make an application request to the PZHAC and BOT.

• Due process was provided to the applicant.

Specific findings of fact:

• The proposed work is on applicant's property and not in Town of Mesilla right-of-way.

ALTERNATIVES:

The Planning, Zoning and Historical Appropriateness Commission (PZHAC) may:

1. Recommend approval of this case with findings stated above.

2. Recommend approval of this case with findings stated above and conditions.

3. Deny the application.

DEPARTMENT INFORMATION:

MTC 18.10 Rural Farm Zone

18.60.340 Wall, fence, or hedge.

A. Height.

- 2. A four-foot maximum height above ground surface level shall be permitted on any part of the required setbacks of front yards or side yards abutting a street in R-1, RF and RA zones; provided, such wall, **fence** or hedge is in accord with subsection (D) of this section. A six-foot maximum height above ground surface level shall be permitted on any part of the required front yard or side yard abutting a street with openwork **fencing** in the RF and RA zones. "Open work" **fencing** is defined as **fencing** with 40 percent of the area transparent within each six-foot width of **fence**.
- B. Walls, **fences** or hedges on any part of the lot that is to the rear of the required front yard must be in accord with subsection (D) of this section and constructed to Uniform Building Code Standards.
- D. There shall be no fence, wall, hedge, or obstruction more than three feet above street curb level or ground level at edge of street in the clear sight triangle, measured 30 feet in both directions on the property line from a corner.

- Application
- Photos
- Diagrams

TOWN OF MESILLA ZONING APPROVAL

061214

OFFICIAL USE ONLY: Case # 061206 Fee \$ 0

PERMISSION TO CONDUCT WORK

OR
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID

	2231 Ave	nida de Mesilla, l	P.O. Box 10, Mesilla	, NM 88046 (575	524-3262 ext. 104	
CASE NO	•	ZONE:	CODE:	A	PPLICATION DATE	3/1/201
Susan Name of Prope		LEGER 1142	MEDILA City NSM. COW	575 Property Owner	<i>G √O −</i> 's Telephone Number	4266
Property Owner	's Mailing A	ddress	City	State		Zip Code
Property Owner	rs E u maii Ad 2/	Idress ss (If none, indicat		<u> </u>		
Contractor's Te	lephone Nur	mber	Contractor's Tax	ID Number	Contractor's Lice	nse Number
Address of Dro	agged Morks	Snow	RIL			
Description of F	Proposed Wo	ork: Peneu	7 -	HAC CE	se 06/2	
na ana	County	Jacobs	mapartae	felicos	Any Program	elloca hi
\$ 1500	/	SAIV	mogens	•	0 2/1/	2077
Estimated Cos	st	Signature of Ap	pplicant()	tis care	Was app	
Signature of p	roperty owne	er: /////	rueged	- H/19/	3081 By	ce PZ HA
With the excep	tion of admi e of a zoninç	nistrative approva g permit. <mark>Plan sh</mark>	als, all permit requests eets are to be no large	must undergo a i r than 11 x 17 inch	review process from ses or shall be submitte	taff, PZHAC and/or BOT d electronically.
			FOR OFFICIAL	USE ONLY		
PZHAC	☐ Adr	ministrative Approv	val	вот	□ Approved Da	te:
	☐ App	proved Date:			☐ Disapproved	Date:
	☐ Dis	approved Date:			□ Approved wit	n Conditions
	☐ App	proved with conditi	ions			
PZHAC APPRO	OVAL REQU	JIRED:YES	NO BOT AI	PPROVAL REQUI	RED:YESN	Ю
CID PERMIT/II	NSPECTION	REQUIRED: _	_YESNO _	SEE CONDIT	IONS	
		_				
CONDITIONS:						
PERMISSION	ISSUED/DI	ENIED BY:			ISSUE DATE	:
1 Plot p	lan with leg ation <u>shall</u> s	al description to	THE FOLLOWING: show existing structu was <u>LEGALLY</u> subd	res, adjoining stroivided through the	eets, driveway(s), imp Town of Mesilla or	rovements & setbacks that the lot has been in
2 Site Pl 3 Found 4 Floor p	an with dime ation plan wi blan showing	ensions and details ith details. rooms, their uses				
5 Cross 6 Roof a 8 Proof	nd floor fram	alls ning plan ess to the property.				
9. Draina	ge plan.					
10 Details 11 Proof Public	of sewer s Utility provid	ervice or a copy ding water services		cluded for Historica nit; proof of wate	l zones) – diagrams a · service (well permi	nd elevations. tor statement from the
		ss to the property.	muland by the O'V C	o on Community D	wolonment Desertes	ot (Soo other side)
13 Other	intormation a	as necessary or re-	quired by the City Cod	e or Community De	evelopment Departmei	ir (see omet side.)

Doña Ana County, NM

General Reference Maps

2014 Aerial Addresses

County Address Points

Select Search Type: Account Numb

Maps Legend

Map Themes

Parcels

UDC Zoning

Roads and Transportation

NM House Districts

NM Senate Districts

County Commission Districts

City Council Districts

Median Household Income

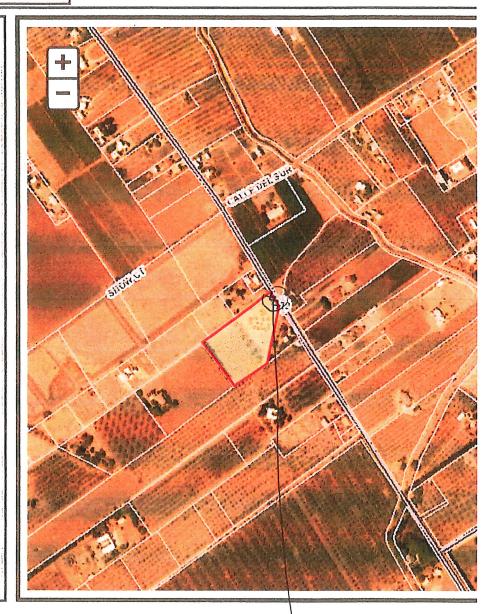
General Land Ownership

Account Number: R0400127 Parcel Number: 4005138454395 Owner: KRUEGER SUSAN A Mail Address: PO BOX 1143

Subdivision:

Property Address: SNOW RD

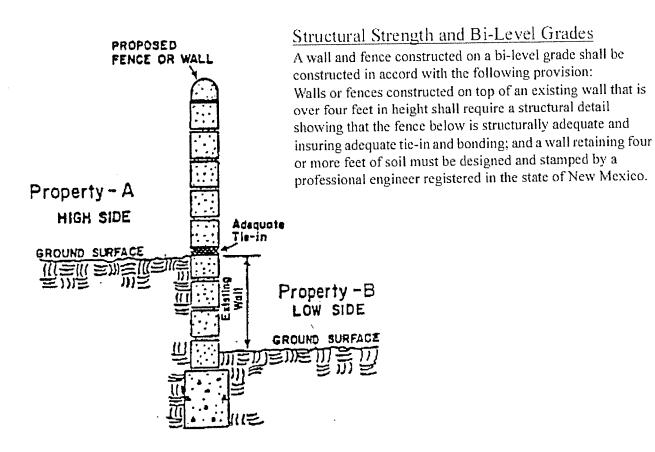
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061206 MAK

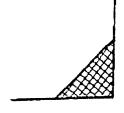
Map Legend							
Map Layers							
Layer Visibility: ☑ Roads ☑ Buildings ☑ City Limits ☐ MLS Zones ☐ Address Labels ☑ 2014 Aerial Photo ☑ Parcels							
Select Search Type: Account Number							
Enter Value:							
Search							

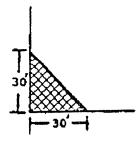




Appendix B - Clear Sight Triangle

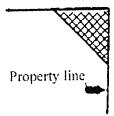
Clear sight triangle applies to both corner lots and off-street multiple parking area. For a definition, see "Clear sight triangle," MTC 18.10.020.





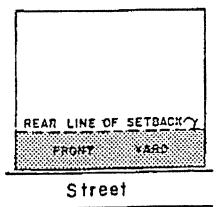
Clear Sight Triangle

STREET





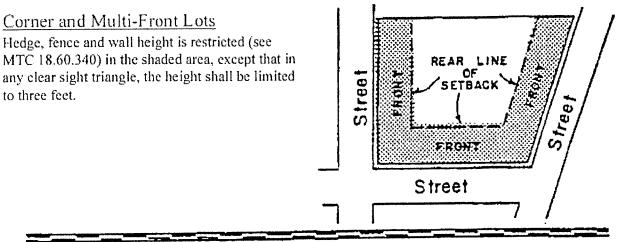
Appendix A – Fences, Walls and Hedges



Interior Lot

Hedge, fence and wall height is restricted (see MTC 18.60.340) in the shaded area, except that in any clear sight triangle, the height shall be limited to three feet.

Hedge, fence and wall height is restricted (see MTC 18.60.340) in the shaded area, except that in any clear sight triangle, the height shall be limited to three feet.



Note: Ground surface level is defined as the level of ground abutting the fence or wall.

AGENDA DATE

PZHAC: February 22, 2022

BOT:

ITEM: PZHAC CASE #061350 - Patricia Molina, 804 Calle de El Paseo (Highway 292), reroof.

BACKGROUND AND ANALYSIS:

The applicant is requesting to reroof her house – shingle to shingle – red color (same as current shingles) heavier shingle – architectural shingle – high wind resistance from Owen Corning (RF).

IMPACT:

Staff recommends the Planning, Zoning and Historical Appropriateness Commission (PZHAC) approve the application subject to the following findings:

• The PZHAC has jurisdiction to recommend approval of the applicant's request for approval of this request to the BOT.

The applicant has the authority to make an application request to the PZHAC and BOT.

• Due process was provided to the applicant.

Specific findings of fact:

The proposed work meets the requirements of MTC 18.20 Rural Farm.

• The proposed work is on applicant's property and not in Town of Mesilla right-of-way.

ALTERNATIVES:

The Planning, Zoning and Historical Appropriateness Commission (PZHAC) may:

1. Recommend approval of this case with findings stated above.

2. Recommend approval of this case with findings stated above and conditions.

3. Deny the application.

DEPARTMENT RECOMMENDATIONS:

Staff recommends the PZHAC approve case #061350.

- Application
- Photos

TOWN OF MESILLA ZONING APPROVAL

OFFICIAL USE ONLY: Case # 10 1350 Fee \$ 2100

PERMISSION TO CONDUCT WORK

OR

OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT FROM CID

18000

	2231 Avenida de Mesilla, P.o	O. Box 10, Mesilla, NM	88046 (575) 524-3262	ext. 104 FEB L / 202
CASE NO	ZONE:	CODE:	APPLICATIO	ON DATE:
Name of Property 804 Property Owner's San	Call DEELyas Mailing Address	o Las C ure	roperty Owner's Telephon State	e Number Second
Property Owner's	E-mail Address	1000 D	11 0-2 5	4 - 7 - 7
Contractor's Tele (96) 227 Address of Propo	phone Number 1639 Ised Work: 804 Cal	Contractor's Tax ID N	umber Contra	16263 ctor's License Number
Description of Pro	oposed Work: Re Ro	of Shingle	- TO Sning	1/c
\$ 12,500 Estimated Cost			Corning - he esistence Date	ch/17/22
Signature of prop	perty owner:			
With the exception before issuance	on of administrative approvals of a zoning permit. Plan shee	, all permit requests musts are to be no larger tha	st undergo a review proce n 11 x 17 inches or shall b	ess from staff, PZHAC and/or BOT e submitted electronically.
		FOR OFFICIAL US		
PZHAC	☐ Administrative Approval	-		proved Date:
	☐ Approved Date:			sapproved Date:
	☐ Disapproved Date:		ц Ар	proved with Conditions
	☐ Approved with condition		OVAL DECLUDED: V	VES NO
	/AL REQUIRED:YES			E8NO
CID PERMIT/INS	SPECTION REQUIRED:	YESNO	SEE CONDITIONS	
CONDITIONS: _				
PERMISSION IS	SUED/DENIED BY:		ISS	UE DATE:
1. Plot plar Verificati existence 2. Site Plar 3. Foundati 4. Floor pla 5. Cross se 6. Roof and 8. Proof of 9. Details of 1. Proof of Public U	ion shall show that the lot we prior to February 1972. In with dimensions and details, ion plan with details, in showing rooms, their uses arection of walls difloor framing plan legal access to the property, as plan. If architectural style and color is	now existing structures, as LEGALLY subdivide and dimensions.	d through the Town of M d for Historical zones) – d	vay(s), improvements & setbacks, vay(s), improvements & setbacks, value or that the lot has been in least the least leas
	formation as necessary or requ	ired by the City Code or	Community Development	Department (See other side.)

Legend Мар **Map Layers** Layer Visibility: Roads Buildings ☑ City Limits ☐ MLS Zones ☐ Address Labels 2014 Aerial Photo Parcels Select Search Type: Account Number ✓ Enter Value:

Search



